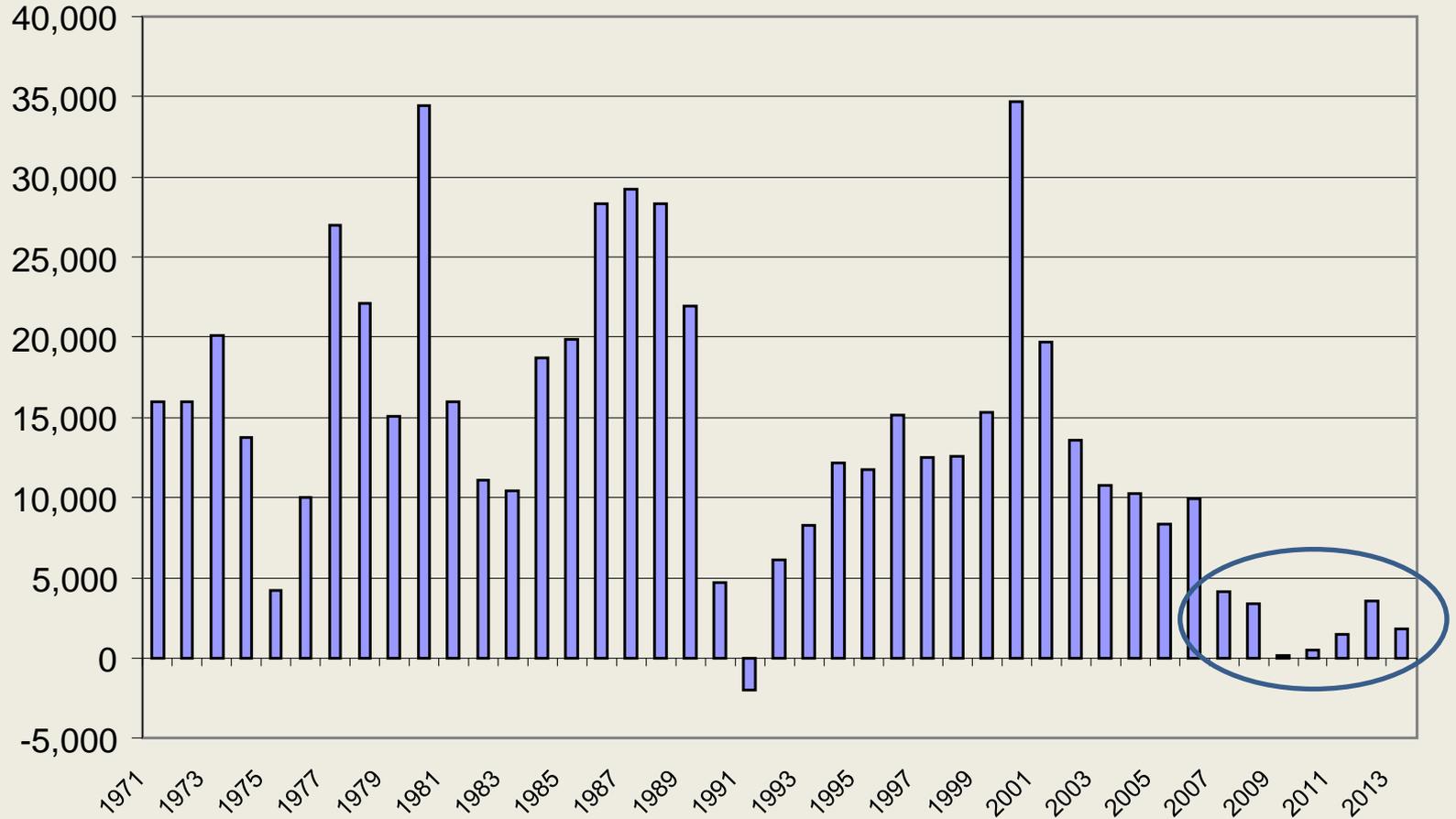


New Hampshire's Changing Demographics



NH Growth Slowing Down - Population

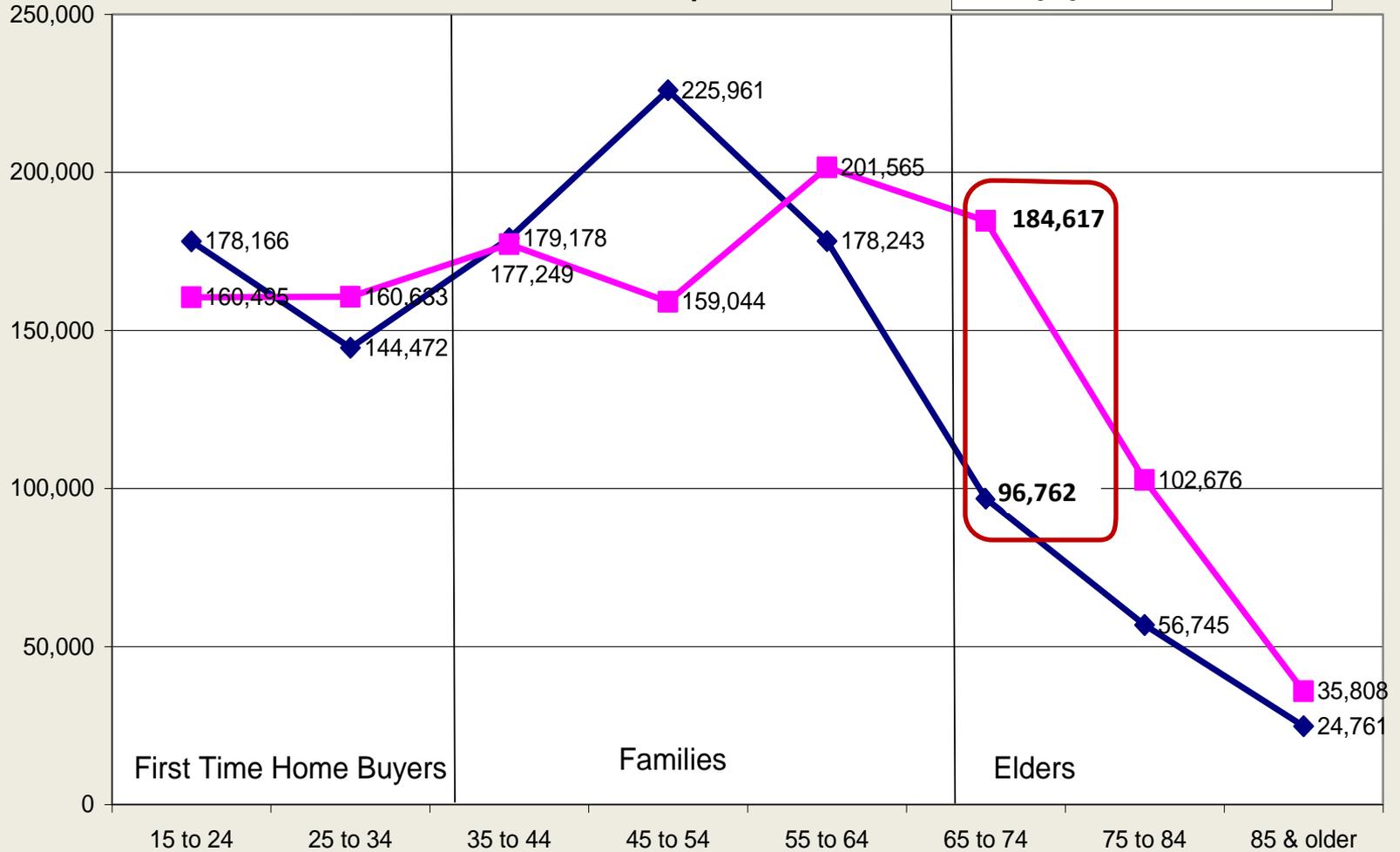
New Hampshire Population Change Over Previous Year



Population by Age Group

New Hampshire

◆ History 2010 Base Year
■ 2025



First Time Home Buyers

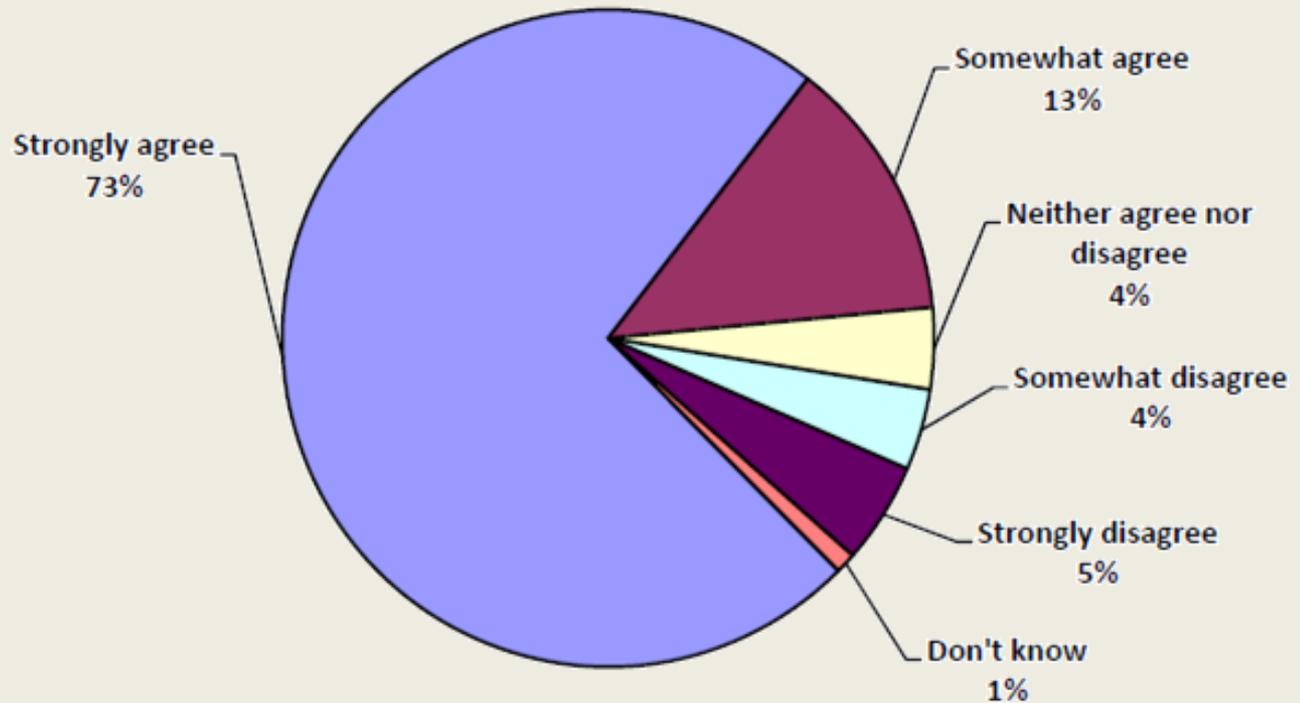
Families

Elders

**Expected Increase in Older Population
65 to 74 Age Range Doubles by 2025**



What I'd Really Like to Do is Stay in My Current Residence for as Long as Possible
(n=985)



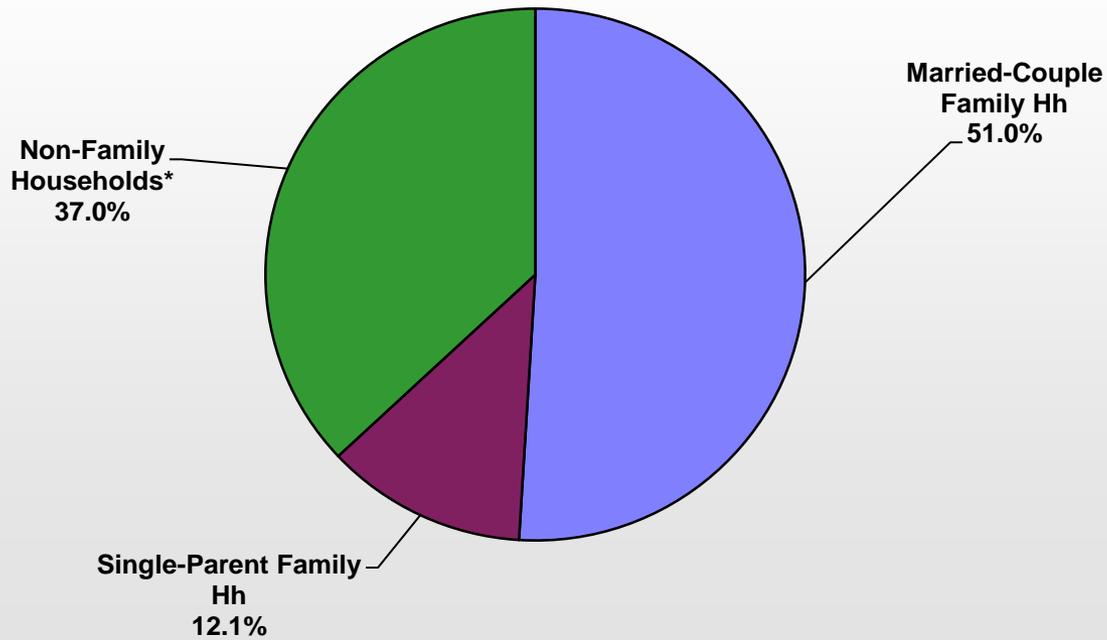
Source: AARP, 2010

...or age in my community



Exeter Household Profile

Family vs. Non-Family Households in 2000

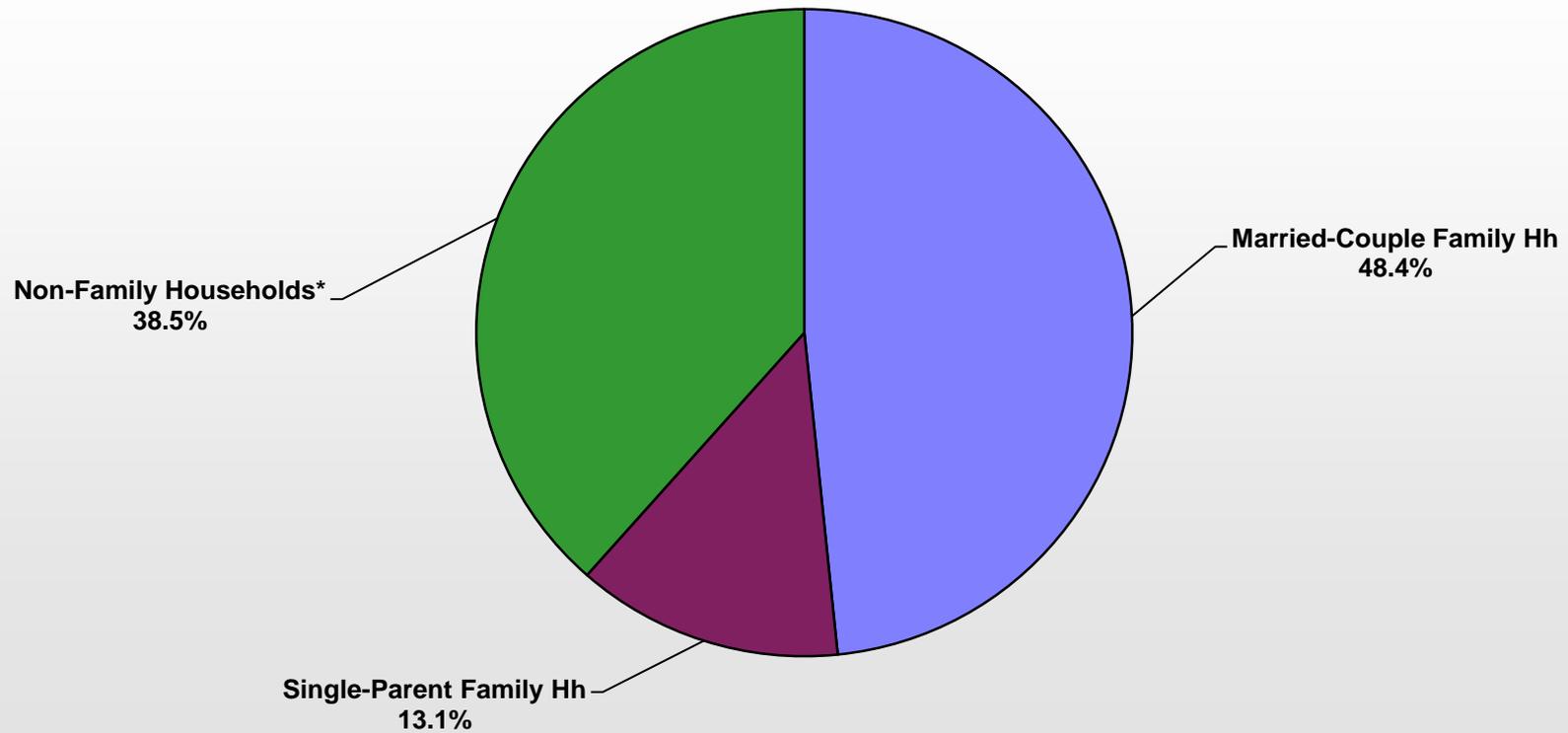


* Includes Single Person Households and same sex married / civil union couples without children.



Exeter Household Profile

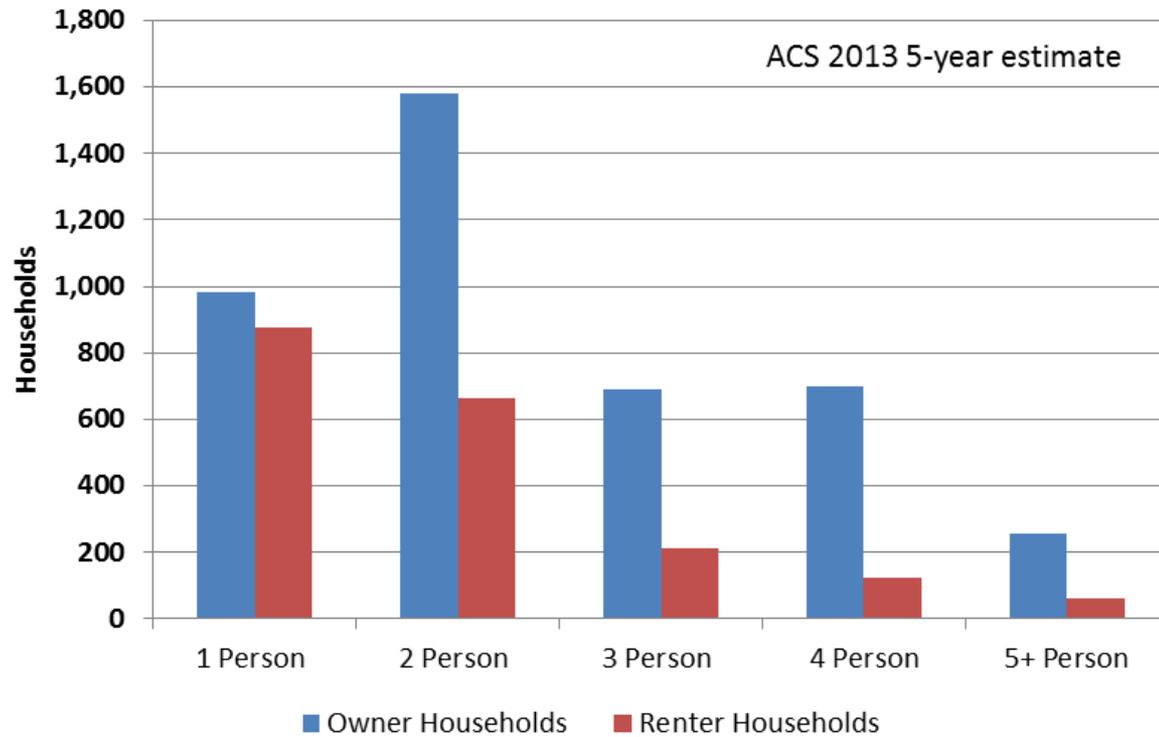
Family vs. Non-Family Households in 2009-2013



* Includes Single Person Households and same sex married / civil union couples without children.



Tenure By Household Size Exeter, NH



NH School Enrollment Trends

Prepared for New Hampshire Housing by:

Russell Thibeault

Applied Economic Research

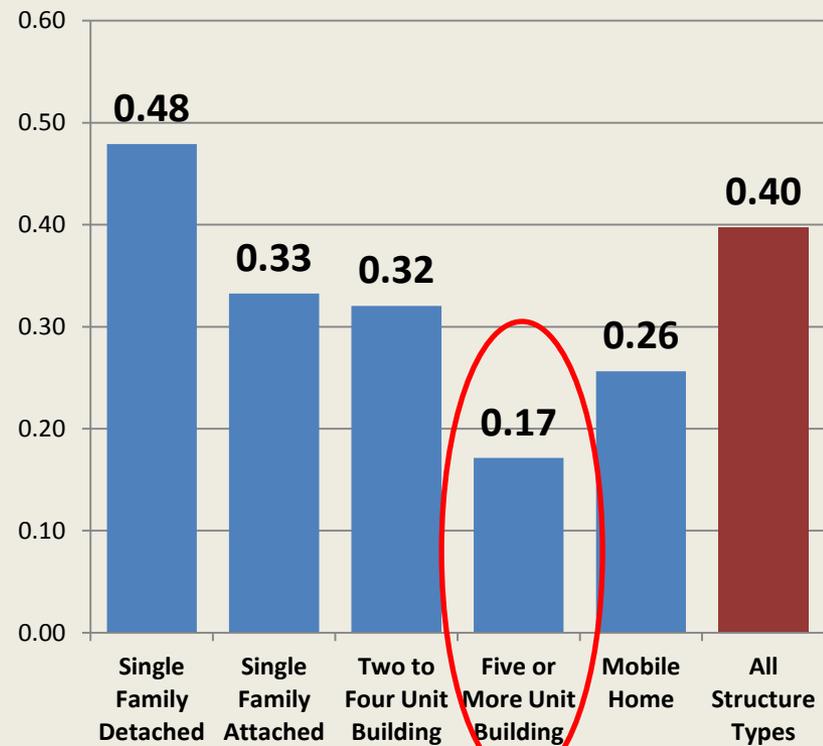
September, 2012



School Enrollment By Unit Type-- Overall 0.4 Students per Unit

- U. S Census American Community Survey indicates single family units generate fewer than .5 students on average.
- Structures with more units (typically garden complexes) generate only .17 students per unit.

NH Public School Enrollment Per Unit By Unit Type, 2009



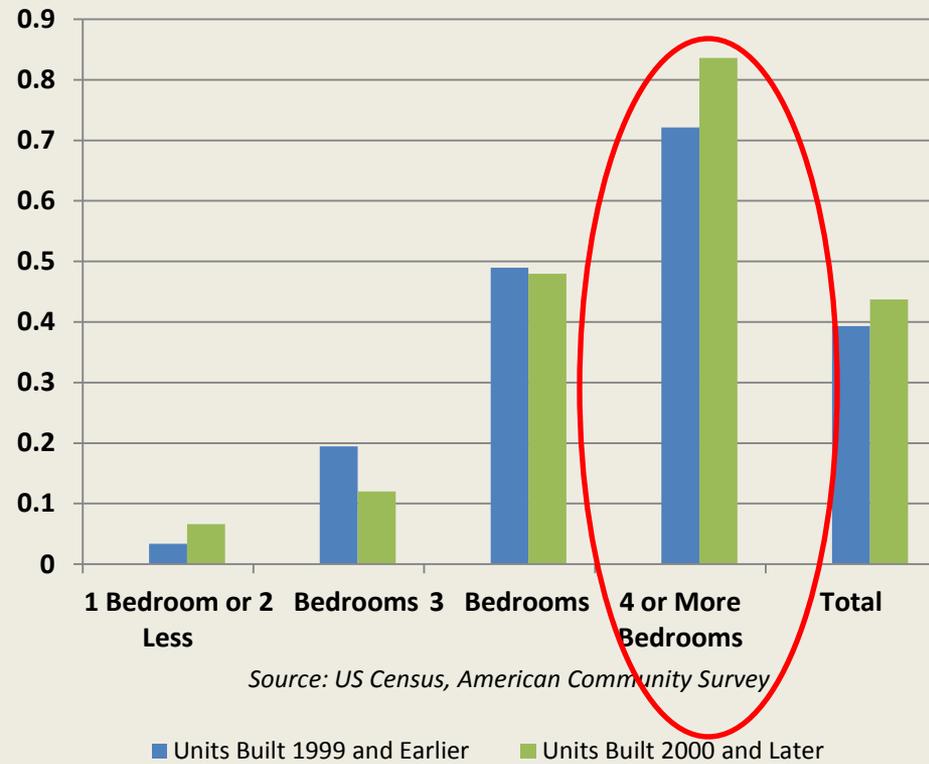
Source: American Community Survey, 2005-09 data



Large New Units=Slightly Higher Enrollment

- Number of bedrooms is the principal variable structuring enrollment per unit.
- US Census American Community Survey confirms this is the case, especially among newer, larger units.

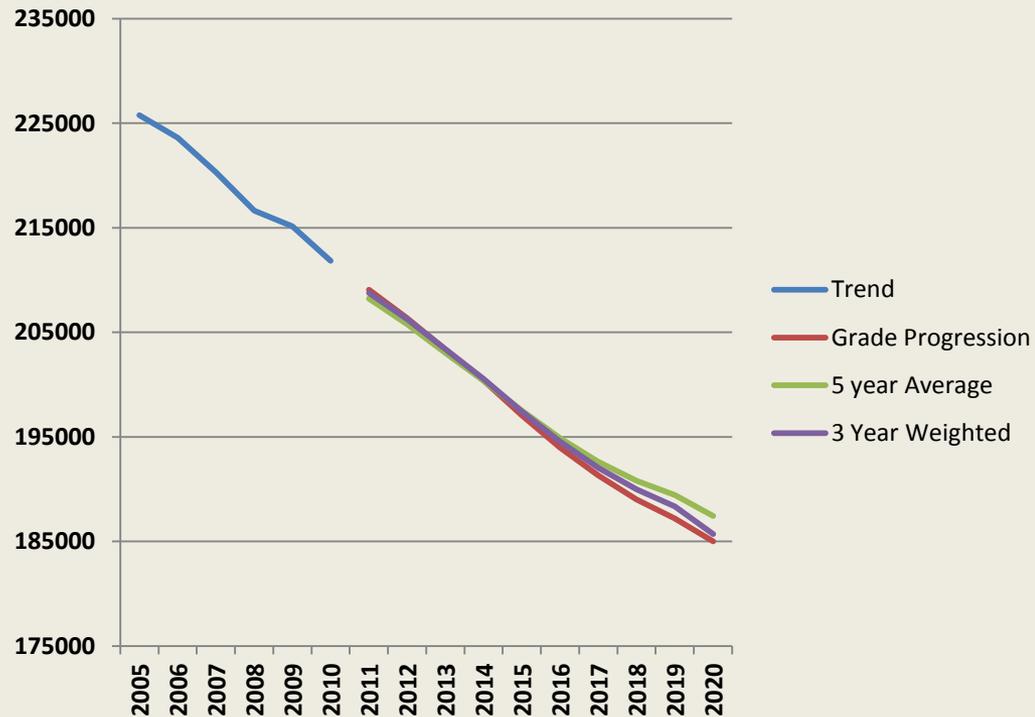
**Public School Enrollment Per Unit,
New Vs. Older Units, 2009**



Enrollment Declines Likely to Continue

- As fewer births and smaller entering class sizes continue to be a factor, enrollment will continue to decline.
- Would take a dramatic increase in migration into the state to reverse this trend

**Enrollment Trends and Projections
Grades k-12, Public and Private
Enrollment**



Housing & Economic Development



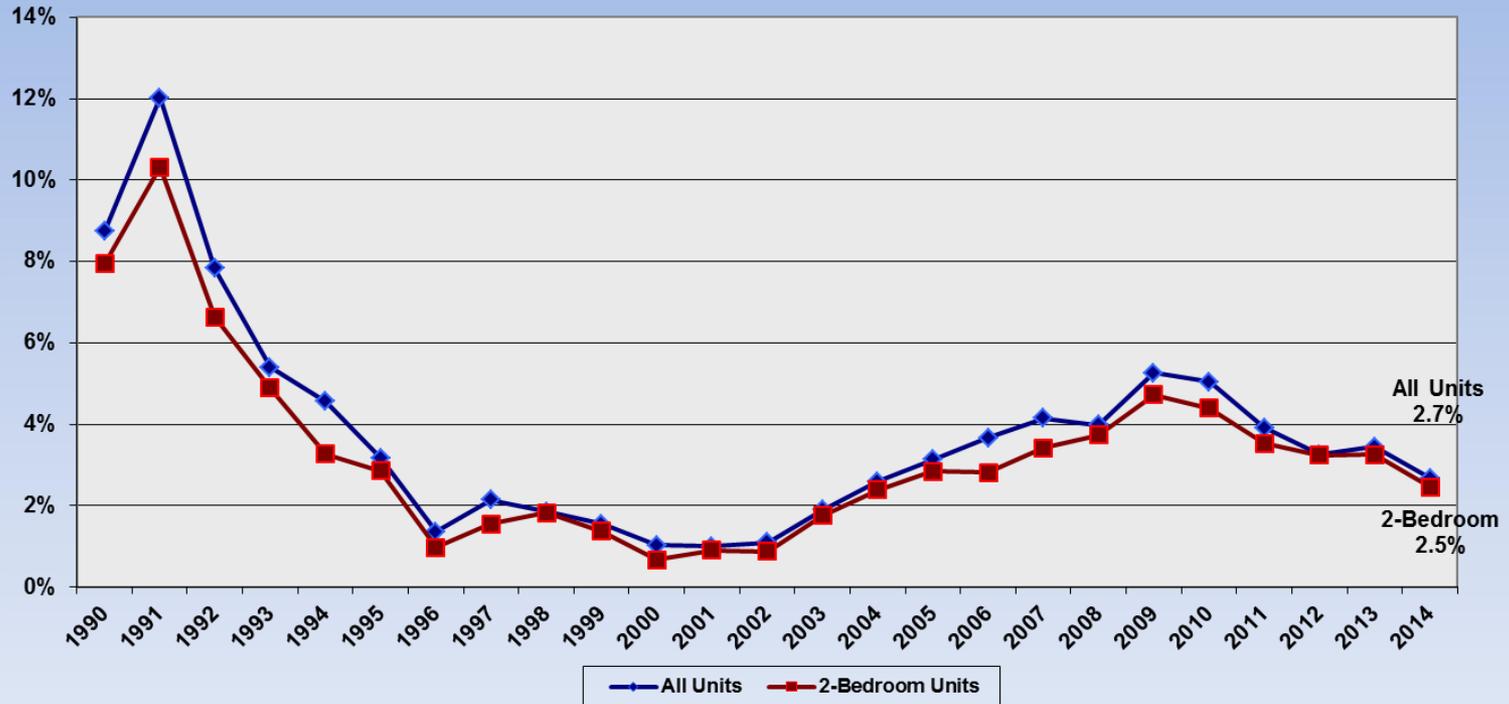
1st time home buyers are challenged, delaying entry into the ownership market

Millenials preference for renting in a vibrant downtown over homeownership



NH's older adult population also see rental market as an option for downsizing and aging in community

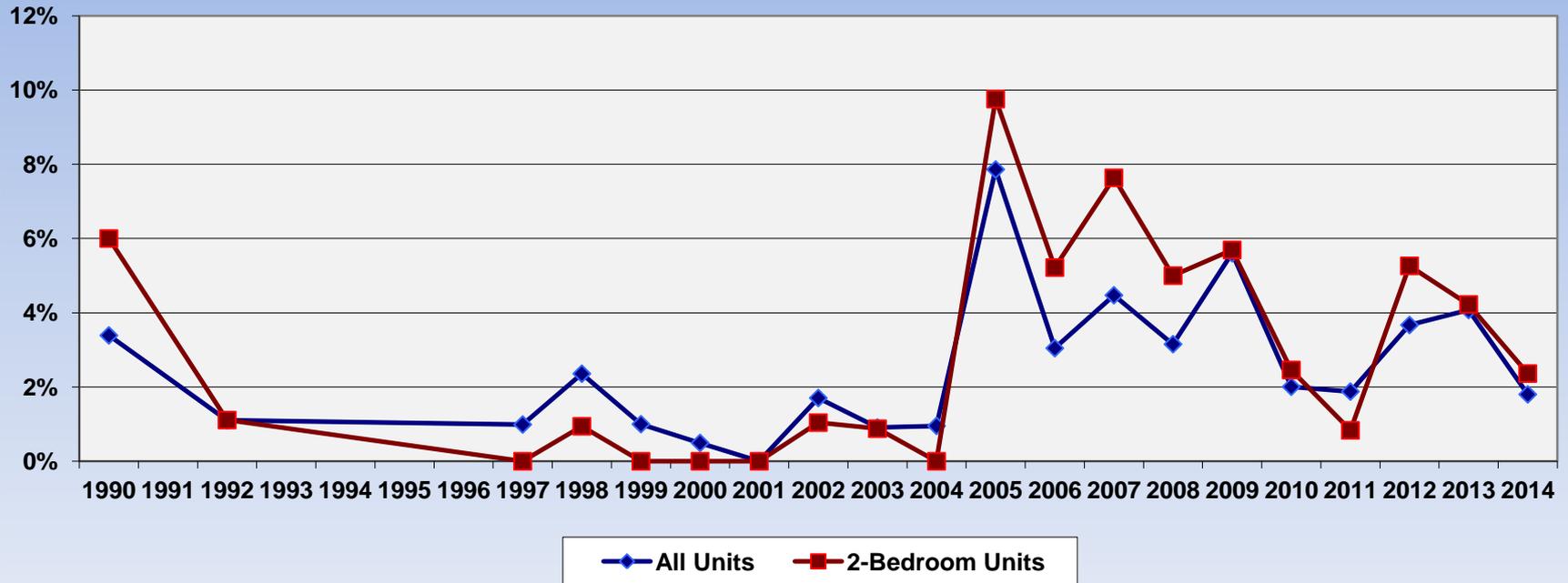
New Hampshire Rental Housing Vacancy Rate



**The low vacancy rate and rising rents represent a lack of supply
Now below 3% statewide**



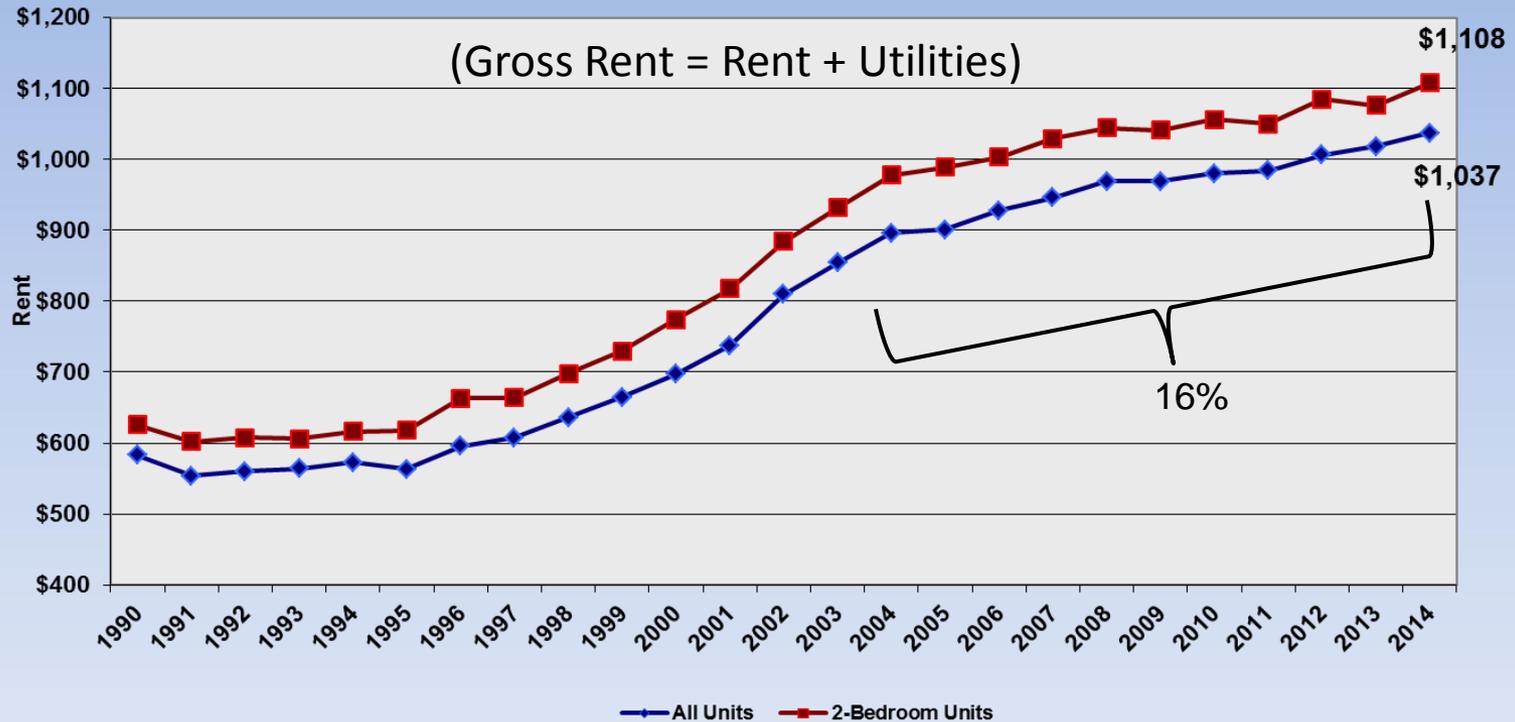
Vacancy Rate of Rental Housing Units Town of Exeter



**Vacancy rate more volatile but similar to statewide data
2.4% for Exeter and 2.1% for Rockingham County for
2-Bedroom Units**



New Hampshire Statewide Median Gross Rental Cost

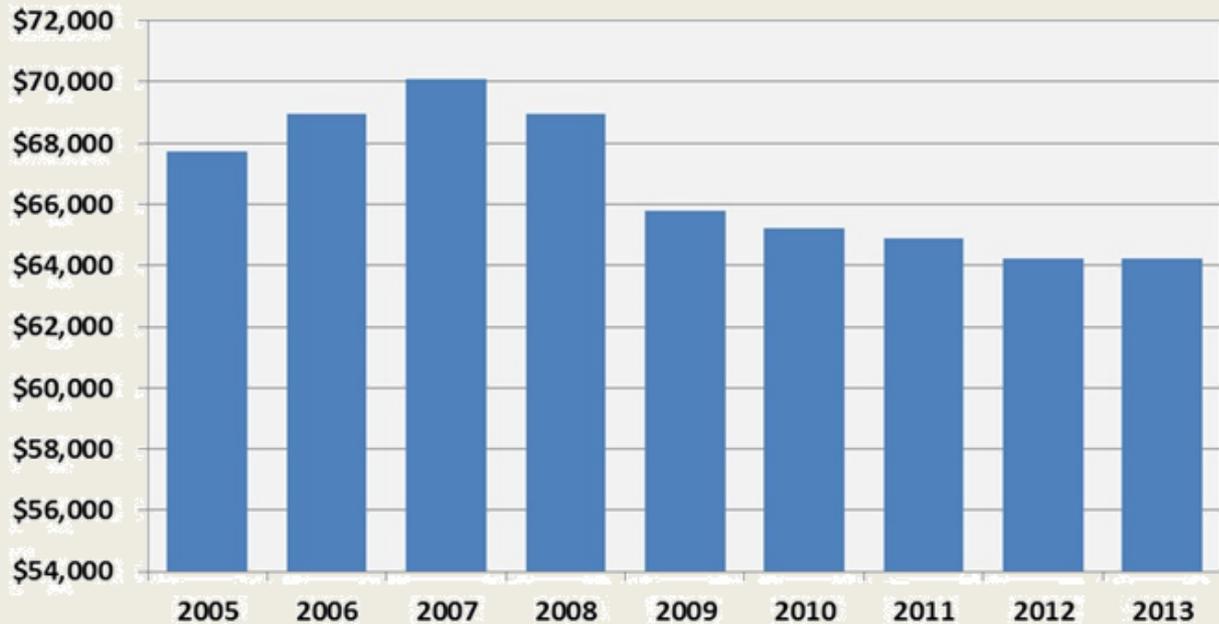


**Median rent continues to increase statewide
16% percent increase in last 10 years
Faster than income growth**

**2 bedroom rental in Exeter is \$1,575/month
\$1,229 for Rockingham County**



Median Household Income in 2013 Dollars



Today's median income of \$64,230 is higher than the peak median income in 2008, but when adjusted for inflation New Hampshire residents have not recovered the buying power that was lost during the recession.



Long-term Industry Projections, 2012 to 2022

Rockingham Planning Commission (000006)		2012 Estimated	2022 Projected	Change	Percent Change
	Total Employment	110,656	126,942	16,286	14.7%
Goods-Producing Industries		12,634	13,960	1,326	10.5%
	Agriculture, Forestry, Fishing and Hunting	407	423	16	3.9%
	Construction	3,092	4,244	1,152	37.3%
	Manufacturing	9,123	9,281	158	1.7%
Service-Providing Industries		91,079	105,332	14,253	15.6%
	Utilities	1,009	1,071	62	6.1%
	Wholesale Trade	4,361	5,648	1,287	29.5%
	Retail Trade	21,211	22,820	1,609	7.6%
	Transportation and Warehousing	2,389	2,579	190	8.0%
	Information	2,878	3,257	379	13.2%
	Finance and Insurance	4,667	5,236	569	12.2%
	Real Estate and Rental and Leasing	962	1,157	195	20.3%
	Professional, Scientific, and Technical Services	5,978	7,412	1,434	24.0%
	Management of Companies and Enterprises	1,505	1,545	40	2.7%
	Administrative and Support and Waste Management Services	6,895	9,075	2,180	31.6%
	Educational Services	7,261	7,797	536	7.4%
	Health Care and Social Assistance	11,578	14,749	3,171	27.4%
	Arts, Entertainment, and Recreation	2,623	2,773	150	5.7%
	Accommodation and Food Services	10,509	12,108	1,599	15.2%
	Other Services (Except Government)	2,803	3,390	587	20.9%
	Government	4,450	4,715	265	6.0%
Self-employed and Unpaid Family Workers		6,943	7,650	707	10.2%
Source: NH Dept. of Employment Security/ELMI					



Quantifying the Impact

2005

Shapiro – Economic Impact of Constrained Housing Supply

A tight workforce housing market is estimated to cost New Hampshire annually:

- 1,300 to 2,800 fewer jobs
- \$57 to \$121 million less personal income
- \$123 to \$253 million reduction in Gross State Product
- \$21 to \$33 million less in state and local revenues

March 28, 2005

Housing New Hampshire's Workforce

Prepared for
The New Hampshire Workforce Housing Council
www.workforcehousingnh.com

Prepared by
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Homes for New Hampshire's Future

~~More~~ Fewer Homes, ~~More~~ Less Business

"It's not my concern..."

For years, New Hampshire business leaders resisted the idea that they had a stake in the cost and supply of housing. This understandable response was founded in realistic assessments of their core missions—supplying goods or services. Increasingly, however, they have come to recognize that their plans for future success and growth are grounded in understanding issues that often go well beyond what their businesses do—issues such as health insurance, child care, and transportation.

Where their employees live and what a house or apartment costs have become vital concerns for New Hampshire's employers. Without an adequate and diverse supply of housing that is affordable

media. In 2008 the Business and Industry Association of New Hampshire (BIA) identified workforce housing as its top concern. Today this concern remains a priority. Workforce housing is indeed of vital interest to New Hampshire's employers.

"Housing is my concern!"

A 2008 survey of almost one hundred New Hampshire employers identified concerns over the cost and availability of homes for their employees. Over 2/3 of

73% of the employers who reported housing concerns indicated that "wage pressures" had an impact upon them in the prior year.

them indicated that housing problems had affected their employees in the preceding year. Among these concerns, the most

Seventy-three percent of the employers who reported housing concerns indicated that "wage pressures" had had an impact upon them in the prior year.

Housing Affects the Economy

While individual employers were reporting on the impact of housing costs and availability, the impact was also being felt on the state's economy. Dr. Lisa Shapiro prepared a study for the Workforce Housing Council, "Housing New Hampshire's Workforce," which examined the aggregated cost of this problem to the New Hampshire economy.

The conclusions of the study are alarming. As a result of high demand and constraints to the housing supply based both on market conditions (a finite supply of land) and non-market

Employer Survey: Housing Cost impacts recruitment and retention
Business & Industry Association: Availability of affordable housing a top issue
NH legislature Studies housing issue
2008: Workforce Housing Law enacted
Stay Work Play NH: Retain young workers in NH



NH's Changing Environment Has Consequences

Environment



Consequences

- New Hampshire's population growth is slowing down
 - Job quality has decreased
 - Elders will be increasingly larger share of owners and renters
 - Young home buyers are challenged
 - Recent trend away from ownership and towards rental
 - Different problems in different regions
 - General public, town officials and business are not aware of issues affecting NH's housing. Local regulations are retrospective.
- Fewer new households, and fewer families
 - Overpayment problems for low income renters
 - Elder overpayment, service needs, aging and mismatched housing stock
 - Hampered move-up market and pressure on rental market
 - Multi-family production shortages
 - One size solutions won't apply.
 - Town officials not comfortable changing existing regulations.





